

CITY OF MOUNTAIN VIEW:
EL CAMINO
MEDICAL
PARK
PRECISE
PLAN

EL CAMINO MEDICAL PARK PRECISE PLAN
ADOPTED BY THE MOUNTAIN VIEW CITY COUNCIL
SEPTEMBER 8, 1969
RESOLUTION NO. 8410

<u>AMENDED</u>	<u>RESOLUTION NO.</u>	<u>SUMMARY</u>
June 9, 1975	10507	
August 11, 1975	10570	
August 25, 1975	10601	
October 13, 1975	10645	
February 9, 1976	10796	
September 27, 1976	11161	
March 28, 1977	11438	
March 28, 1977	11439	
April 25, 1977	11507	
April 25, 1977	11508	
March 13, 1978	11974	
August 31, 1982	13665	Allowance for YMCA facility projecting into Cuesta Park.
April 12, 1983	13769	Development standards for Area C.
January 31, 1984	13926	Development standards for Area K.
May 10, 1988	14803	Development standards for Area D.
April 12, 2005	16986	Reassignment of areas, revisions to general development standards and development standards for Area A and removal of Area G from the Precise Plan.

TABLE OF CONTENTS

<u>INTRODUCTION</u>	1
<u>EXISTING LAND USE</u>	1
Exhibit 1—Existing Land Use.....	2
<u>THE PLAN</u>	3
Land Use.....	3
Exhibit 2—El Camino Medical Park Plan	4
Circulation System.....	5
Exhibit 3—Peninsula Planter	6
<u>VISUAL FORM</u>	6
Exhibit 4	7
Permitted Uses.....	7
Accessory Use	7
General Development Standards.....	7
Development Standards.....	9
Medical Park Architectural Standards.....	14
Implementation and Administration	15
<u>APPENDIX</u>	16
Exhibit 5—Recommended Parking.....	17
Exhibit 6	18
Exhibit 7	19
Mitigation Measures	20
Resolution No. 16985	26

EL CAMINO MEDICAL PARK PRECISE PLAN

INTRODUCTION

The area covered by this plan is shown on Exhibit 1 and incorporates the land surrounding the El Camino Hospital. The community goals for this area are:

1. To ensure sufficient land to accommodate growth in quality medical service for the community.
2. To protect the residential character of the surrounding area.
3. To retain and encourage the open and parklike quality of the medical area.
4. To ensure compatibility of the area with Cuesta Park.
5. To ensure compatibility of the area with existing structures within the Medical Park itself.

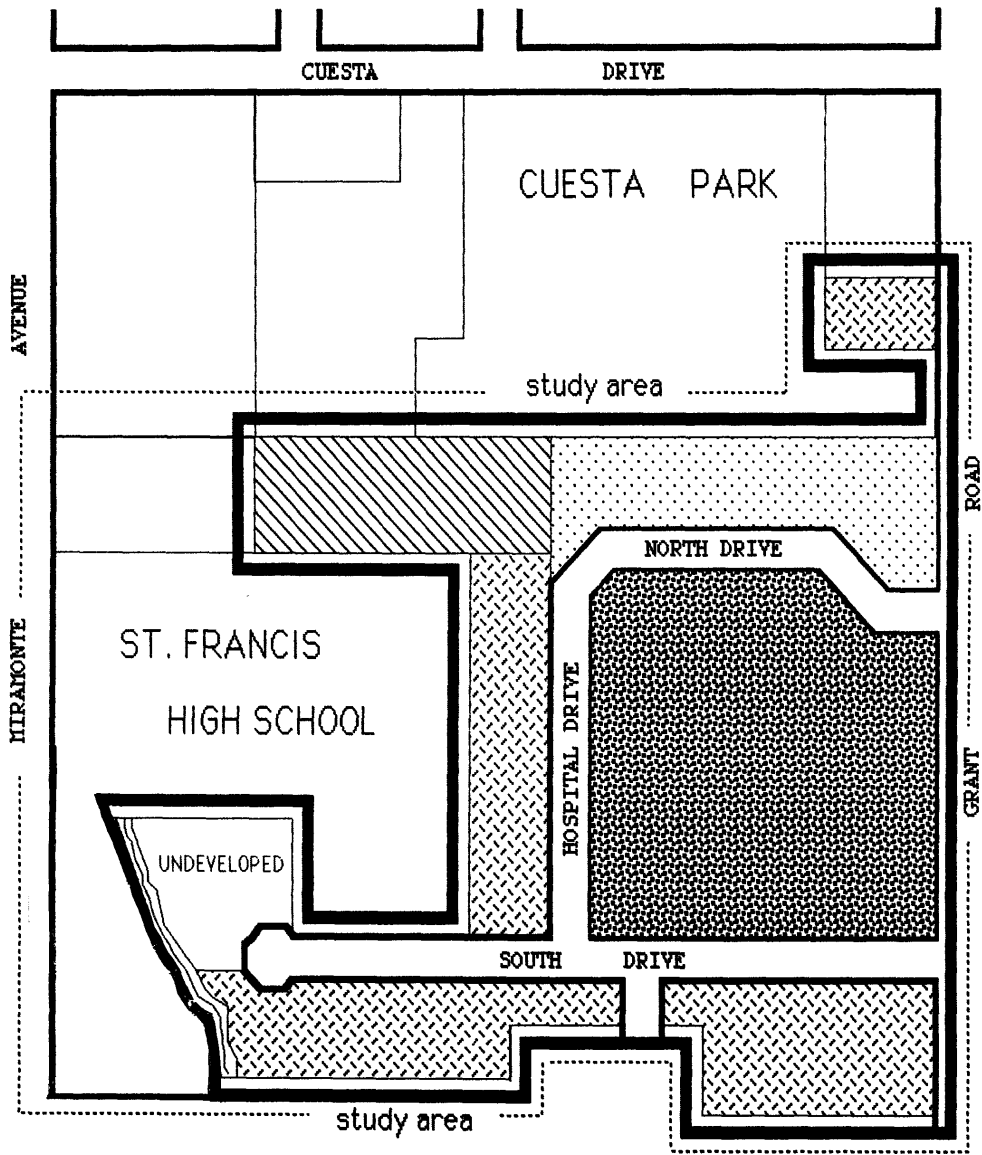
Since this Plan was first adopted, several factors have expanded the Hospital's function and mandated new facilities. Medical and technological advances have required separate specialized outpatient facilities as well as additional space within the Hospital. As new health care and social concerns arise, space is also needed to implement new programs, and as hospitals increasingly compete with each other to provide a broad range of services to more people, hospital facilities will also expand.





The residents of Mountain View and the surrounding communities which are served by El Camino Hospital (including Los Altos, Los Altos Hills and Sunnyvale) will benefit from expanded facilities and programs at El Camino Hospital. This Plan is intended to: (1) allow for and anticipate expansion of the Hospital and its related programs and facilities; and (2) to ensure a well-coordinated scheme for the functioning of these activities which respects the surrounding residential neighborhood.

EXISTING LAND USE

The properties surrounding the El Camino Medical Park on the south, west and east can best be described as a predominantly low-density, single-family residential area. Current zoning in this surrounding area is R1, R1-7.5L and R1-8L.

Directly to the north of the Hospital District's land is Cuesta Park, containing approximately 25 acres of developed park land and serving the entire City. Also to the



-  Y.M.C.A.
-  EL CAMINO HOSPITAL
-  HOSPITAL LAND UNDEVELOPED
-  MEDICAL AND PARAMEDICAL USES

EXISTING LAND USE - 1988



EXHIBIT I

north, west of the Park, the City owns 12.5 acres of vacant land. Nine acres of this land were purchased from the Mountain View Elementary School District in 1987; the remaining 3.5 acres fronting on Cuesta Drive were purchased in 1974.

The El Camino Medical Park area is as follows:

Hospital Acreage:

Developed Hospital Property	29.9 acres
YMCA	4.8 acres
Additional for Future Development	<u>5.7 acres</u>
TOTAL	40.4 4 acres

Health-Related Activities Acreage in Addition to Hospital:

Existing Developed	17.5 acres
Additional for future development: Along South Drive to Permanente Creek (Site H)	<u>2.8 acres</u>
TOTAL	20.3 3 acres

TOTAL EL CAMINO MEDICAL PARK
(STUDY AREA) ACREAGE: 60.7~~7~~ acres

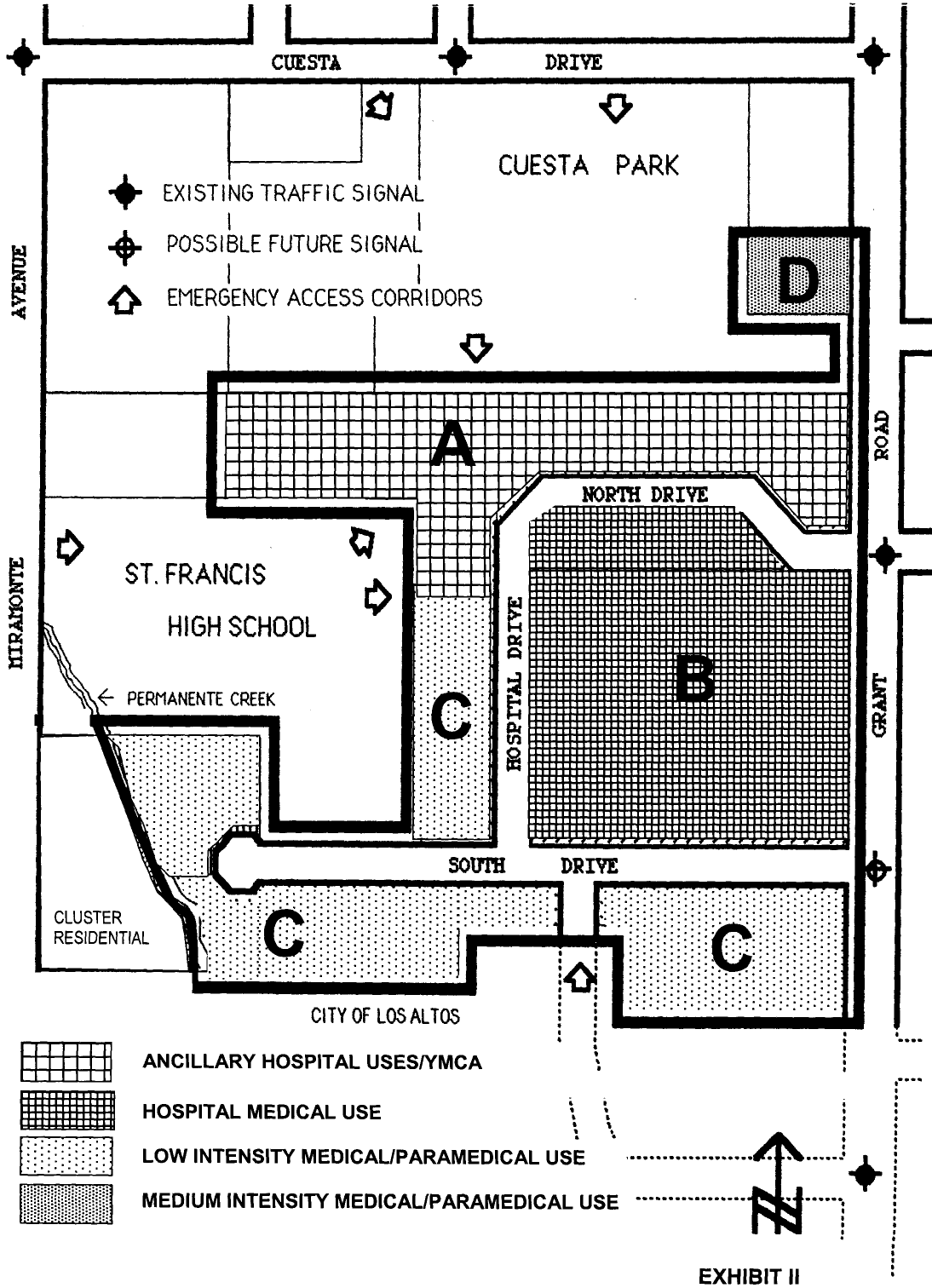
THE PLAN

Land Use

The only undeveloped acreage, from Grant Road to Permanente Creek along South Drive (part of Area C, 2.8 acres), shall be reserved for private medical and paramedical uses (see Exhibit 2). The remainder of the properties along and near South Drive (Area C) have developed as medical and paramedical uses.

To the north, Area A (north of North Drive) and Area D have been developed (1988) as a YMCA, a physical therapy facility and medical offices in accordance with the development standards contained within this Precise Plan. Portions of Area A (south of North Drive) are currently under development for a parking garage and medical office uses as part of the El Camino Hospital's Master Plan for development. Exhibit 4 lists allowable uses prescribed for development.

EL CAMINO MEDICAL PARK PLAN



Circulation System

Arterial access to the Medical Park is from Grant Road via North Drive and South Drive. The potential Thatcher Drive connection to Covington Road/Grant Road has been closed by the City of Los Altos. This connection should become available as a disaster emergency access if possible. A loop consisting of North Drive, Hospital Drive and South Drive forms an essential interior street system to distribute traffic throughout the hospital area. As shown on the plan map (Exhibit 2), South Drive extends west of Hospital Drive at a 60' right-of-way and terminates in a cul-de-sac east of Permanente. North Drive extends in a more or less straight line at a 60' right-of-way to connect with Hospital Drive.

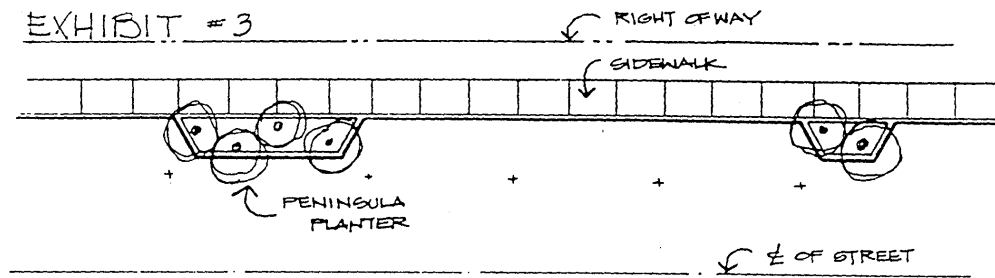
The North Drive/Grant Road and South Drive/Grant Road intersections are signalized to provide for more efficient traffic flow along Grant Road and improved access from the residential areas.

As shown on the plan map (Exhibit 2), emergency access corridor designations are depicted in the event of a disaster restricting the use of Grant Road at North and South Drives. The three access corridors are shown as Covington Road via Thatcher Drive, from Miramonte Avenue to South Drive through the St. Francis High School property, and across Cuesta Park and development Area "B." In the interest of area circulation and public safety, El Camino Hospital officials are encouraged to pursue discussion with the City of Los Altos in order to either open Thatcher Drive permanently or to cooperatively design and install an easily removable barricade on Thatcher Drive at the City limit. St. Francis High School has already designated a specific access corridor through the high school property and is encouraged to continue in this cooperative effort. Cuesta Park should be considered only as a last-resort solution to disaster emergency access.

In coordination with St. Francis High School, a pedestrian and bicycle path shall be maintained from the end of South Drive to Miramonte Avenue via appropriate means across the school lands (i.e., pathways, drives, bridges, etc.).

Street Design. Street design shall conform to the City's standards, but special design treatment should be included. For example, peninsula planting spaces (see Exhibit 3) should be placed at random along both South Drive and Hospital Drive for street tree planting. Planting peninsulas should be 6' wide and should occupy space normally taken by the parking aisles.

A bus stop is currently provided along Hospital Drive. Consideration of additional stops should be made as demand warrants.



VISUAL FORM

The General Plan identifies the El Camino Hospital site as a "gateway" and a "landmark" site. Gateways are doorsteps of the community, which give people their initial or lasting image of the City. Landmarks create memorable images, city identity and provide a sense of orientation. Gateways and landmark sites should provide a high-quality visual environment with distinctive architecture, landscaping, signage, artwork and plazas. The location, height and bulk of buildings, and the location and depth of open spaces in the medical park area will determine the desirability of the medical park area itself as well as the surrounding community areas. Large buildings properly located can produce a feeling of strength and spirit and can constitute desirable views and landmarks. However, care must be taken to respect the perception of those individuals using and living adjacent to the area. The feeling of comfort and being at ease within a situation that can be very tension-oriented will be important to overall success of the Precise Plan. Improperly located structures can produce a crowded, congested feeling. Each area of the medical park is examined for its appropriate visual form (see "Development Standards"). Exhibit 2 shows the various areas distinguished by a letter symbol.

EXHIBIT 4

Permitted Uses

1. Hospital, medical and dental offices and clinics, occupational-physical therapy, communicable disease clinic, psychiatric-social services, medical-social services, and other medical-related uses, i.e., blood bank, nurse associations, etc.
2. Medical-dental laboratories, not including the manufacturing of pharmaceutical or other products for general sales or distribution.
3. Public and quasi-public uses appropriate to the district such as convalescent hospitals, medical research and schools for psychiatric research facilities, etc.
4. Pharmacies, not exceeding 800 square feet in total area, located within a medical building containing other principal permitted uses; primarily selling pharmaceutical products and medicines; and having no exterior display, advertising in show windows or other appearance making this use dissimilar from other medical occupants in the building.

Accessory Use

1. Incidental services, such as hospital administrative offices, restaurants, pharmacies and retail sales to serve occupants and patrons of the permitted uses, when conducted within the same building, provided there is no exterior display or advertising.

General Development Standards

Standards for development should take into account each area's individual characteristics and its potential for development. The establishment of the following general criteria is pertinent for the entire medical park area.

1. The Hospital, with its extensive landscaping and open space (i.e., the large grove of Heritage trees on the Grant Road frontage, large grass areas, hedge plantings, etc.), has become a pleasant accent on an otherwise homogeneous suburb. Development policies should promote and retain substantial open space which provides the parklike quality of this medical complex.
2. Compatibility with surrounding residential areas should be ensured by providing buffers and design forms compatible with the residential areas.

3. Special attention should be given to surface parking areas to reduce their visual impact. Appropriate landscaped mounds or hidden, below-grade parking should be encouraged. Open parking areas should be landscaped using planter islands, tree wells, etc. (See "Specific Development Standards.")

The City Council has encouraged the Hospital to also support underground parking as a possible solution. Combining underground with aboveground structures could prove to be an optimum solution to meeting the parking demand. Placing parking beneath medical buildings and/or open space/landscaped plazas is encouraged as a solution to the parking situation. Twenty-five (25) percent of all vehicles proposed to be contained within parking structures must be contained in underground levels and that parking beneath medical buildings and open space/landscaped plazas be encouraged throughout the Precise Plan area.

4. Parking structures and lots should be limited only to the number of spaces necessary in order to limit visual impacts on the parklike atmosphere of the hospital campus and Cuesta Park.
5. Parking structures should be of high architectural quality, consistent with the architecture of the main structure and/or adjacent structures, introduce light into the interior of the spaces if feasible and use landscaping to further enhance their visual quality. The location and massing will be designed to minimize visual impact and to relate to the buildings on the site with carefully designed spaces between the parking structure and adjacent buildings.
6. The top surface of parking decks, at or slightly above grade, shall be landscaped with a combination of trees, planters, decorative paving and trellises with plantings. The landscaped area shall meet, to the extent possible, the standards required in parking areas. Landscaping on parking decks, at or slightly above grade, may be counted towards required site landscaping.
7. Pedestrian connections from parking structures to buildings should be designed as attractive paths with a high level of pedestrian safety. The paths should incorporate special paving, lighting and landscaping to assist in pedestrian wayfinding and create visual interest.
8. Lighting for parking structures and parking lots should strive to eliminate glare and visibility of pole-mounted fixtures by employing full cut-off fixtures and minimized pole heights. Particular care shall be given to frontages facing Cuesta Park and residential uses, with berming and significant landscaping.

9. Open spaces should be coordinated (between uses and between ownerships) so as to provide more prominent and useful space.
10. Development in the area should recognize the importance of Cuesta Park, and integration should be encouraged. Development adjacent to Cuesta Park should provide appropriate landscaped buffers.
11. Lighting shall be screened and shall not create off-site glare.
12. Special design efforts within Areas A, B and C to reduce development impacts to integrate development into the park setting (e.g., connecting paths, special landscape design, depressed building and parking areas, etc.) are encouraged.
13. The use of sculpture, gardens and fountains within the site design shall be encouraged to increase the area's sense of quality and the parklike atmosphere. For development with floor area of over 30,000 square feet, publicly oriented art/sculpture should be encouraged in the project design.
14. Design of all structures, particularly those over two stories in height, shall consider impacts of shadow and restriction of solar access to adjoining properties and streets. Additional setbacks may be required to avoid solar conflicts and visual dominance of tall or massive structures. Landscaped buffers with trees should be provided along property lines. In determining the appropriate siting and character of the building form, use of transparent versus solid walls, use of texture, detail, color and three-dimensional articulation, and relationship to adjoining buildings shall be considered.
15. "Green building" technology should be implemented in the construction of buildings and demolition materials should be recycled.
16. Adequate pedestrian access from on-site uses to the adjoining streets and open spaces shall be provided. Interior open spaces, hard-surface plazas and landscape areas shall be incorporated into the overall project design.

Development Standards

The areas referred to by letters are shown on Exhibit 2.

Area A—Development closest to residential uses shall be low in intensity, reflecting the residential character of the development to the north and west. Building height, bulk and character should reflect this residential feel.

Medium intensity of use is specified adjacent to Cuesta Park and open areas around the hospital. A setback to building of 150' should be maintained from Grant Road. Landscaping and landscaping structures (i.e., trellises, pathways, plazas, etc.) shall occupy a substantial portion of the Grant Road setback and generally all of the setback area between the building and the Park. (Landscaping should be integrated with the park planting.) A pedestrian entrance to the park could be established from the intersection of North Drive and Grant Road in the Grant Road setback. This will provide spatial continuity of hospital development with the park. Additionally, this will provide a visual enlargement of the park frontage along Grant Road.

The area also includes a joint YMCA/El Camino Hospital health education and family fitness center. This use integrates the medical park with Cuesta Park and acts as an extension of the Park, both visually and recreationally, by providing additional recreational and physical fitness activities.

Area A

- Setbacks -
- a. 30' from property lines abutting residential uses.
 - b. 10' from all other property lines.
 - c. 30' average from public streets. A minimum of 10' is allowed. This setback must be used for landscaping only.
 - d. From Grant Road: 150' from the Grant Road property line with at least the front 40' from Grant Road being landscaped.
 - e. From North Drive: An average of 30', all of which are to be landscaped.
 - f. From Cuesta Park: 70' for the first 150' from the Grant Road right-of-way, all of which to be in landscaping. For the rest of Cuesta Park frontage, a minimum of 30' or 1-1/2 times the height of any building, whichever is greater, all of which to be landscaped except that, when approved through the Planned Community Permit process, limited paved areas may encroach into the setback areas provided they are adequately screened (landscaping, mounds, landscape structures, etc.) to maintain the dominant landscaped appearance of the setback areas.

- Heights -
 - a. 1-1/2 stories or 25', whichever is less, at a distance less than 100' from residential uses.
 - b. 30' at a distance less than 100' from Cuesta Park.
 - c. 40' at a distance of 100' from residential uses and Cuesta Park.

- Coverage - 30 percent building coverage.

- Buffers/Barriers - Fences, screens, landscaping, etc. should be constructed along property lines. A 30" wide planting strip will be included as part of any barrier.

- Landscaping - 35 percent of total lot should be open and landscaped, 15 percent of which shall be allocated for landscaping of parking areas. Landscaping shall be required on parking decks that are at grade or slightly above grade and may be counted towards parking lot landscaping.

Area B—The Hospital and Cuesta Park are major urban forms, and because of the importance of each of these forms, they must complement each other. Additional high-rise development of the existing hospital site is not considered detrimental if the high-rise is confined to and around the existing Hospital. The open area fronting the Hospital and Grant Road should not, however, establish any new surface parking. The continuity of open spaces around the Hospital development will provide the Hospital with a natural setting, making the scale of the Hospital form compatible with the park form. New building development in front of the Hospital (Grant Road side) should consider eliminating existing surface parking areas and providing below-grade parking or parking structures to the rear of the main building. The building should be set back 200' from the property line on Grant Road. The building should be in the form of a tower to reduce its massing effect upon the area.

New buildings and building renovations shall demonstrate visual and functional compatibility with one another and with existing buildings to ensure that the entire development, when complete, appears and functions as one complex. This does not mean that building design must be repeated, but rather, that design concepts must be complementary and developed in the context of the entire hospital complex.

- Setbacks -
- a. 200' from Grant Road right-of-way line (or 255' from the centerline of Grant Road), the first 100' of which to be in landscaping.
 - b. 30' from the right-of-way of North Drive and Hospital Drive, all of which to be in landscaping.
 - c. 30' from face of curb along South Drive, all of which to be in landscaping.

Heights - Aboveground structure design shall be of a stepped design contained within an incline plane sloping inward at a ratio of 1' horizontally to 2' vertically, said planes to begin at the front and street setback lines at an elevation of 30' above the average lot elevation. (Exception: Use of underground parking facilities is encouraged. If aboveground structures are utilized, they shall be adequately screened from adjoining streets and uses and/or effectively integrated into the basic building design. Aboveground parking structure design shall be of a stepped design contained within an incline plane sloping inward at a ratio of 1' horizontally to 2' vertically. Said plane to begin at the front and street setback lines at an elevation of 20' above the average lot elevation.)

Coverage - 35 percent maximum building coverage, including parking structures.

Landscaping - 40 percent of the total site shall be open and landscaped, 15 percent of which shall be allocated for landscaping of open parking areas. Landscaping shall be required on parking decks that are at grade or slightly above grade and may be counted towards parking lot landscaping.

Area C—Developments along South Drive should be low-density in nature compatible with the existing medical buildings and the southerly and westerly residential areas. Height should be determined as a variable of the distance from the residential property. Developments bordering on residential properties should have landscaped buffers. Creekside development shall preserve, respect and complement the natural creek setting and ecology.

Developments with common open and parking areas should be encouraged to provide greater visual continuity with other open space.

Convalescent hospital developments would be suitable on the sites south of South Drive because of their proximity to an existing convalescent hospital and border with the residential area. Integration of the natural landscaping of Permanente Creek with the building form will provide an extremely pleasant outdoor convalescent area.

- Setbacks -
- a. 30' minimum from residential property lines (including the easterly boundary of the Permanente Creek right-of-way).
 - b. 10' from all other property lines.
 - c. 30' average from public street. A minimum of 10' is allowed. This setback must be used for landscaping only.
- Heights -
- a. 1-1/2 stories or 25', whichever is less.
 - b. 2-1/2 stories or 35', whichever is less, at a distance of 100' from residential uses or 50' from the easterly boundary of the Permanente Creek right-of-way, whichever is greater.
- Coverage - 30 percent maximum building coverage.
- Buffers/Barriers - Fences, screens, landscaping, etc. should be constructed along property lines adjacent to residential property lines and Permanente Creek right-of-way. A 10' wide planting strip should be included as a part of any barrier.
- Landscaping - 30 percent of total lot should be open and landscaped, 15 percent of which shall be allocated for landscaping of parking areas.

Area D—Development of this area is of low intensity for a number of reasons: its relationship to the Park, its relationship to the residential uses to the north, its limited access onto Grant Road and its separation from the remainder of the medical park.

Heavy emphasis has been placed on landscaping and the general orientation of use and design of this property to Cuesta Park. Potentially, pedestrian access between this use and the rest of the medical park may be provided through Cuesta Park, allowing a unique natural setting for development of this property. The existing specimen oak and other mature vegetation shall be preserved.

- Setbacks -
- a. 20' from the north property line, except that the specimen trees there must be adequately accommodated in good health.
 - b. 30' from the westerly property line.
 - c. 50' from the southerly property line, 60 percent of which to be landscaped.
 - d. 100' from Grant Road.
- Heights - 35' maximum.
- Coverage - 25 percent maximum building coverage.
- Buffers/Barriers - Buffers and barriers shall be avoided adjacent to Cuesta Park, wherever possible. Where such barriers can be demonstrated to be needed, they shall be designed to be as unobtrusive as possible so as not to detract from the visual continuity of this parcel and the park.
- Landscaping - 30 percent of the site to be open and landscaped. Landscaping shall be included within the parking area. Mounding and landscaping shall be used to screen parking from Grant Road and Cuesta Park.

Medical Park Architectural Standards

These criteria can serve as a guide to encourage quality development. They establish the relationships between the elements which make up the physical environment.

Character of Design: The architecture and landscape should relate well to the existing residential design. This is not to say that each building should look like a house, but that designs should respect the scale, color, texture, juxtaposition and use of materials on the dwellings. Contemporary design here is more appropriate than historical or traditional style. Attention shall be given to the common details to be used as unifying elements of the design of related buildings to aid in creating a campuslike setting.

Scale: Buildings should generally be small and informal in scale. Building clusters with courtyards, connecting corridors, etc., which bear a close relationship to the residential atmosphere should be encouraged. Larger building forms can be permitted if the forms are broken up and designed to lessen the impact of mass.

Color: Generally speaking, muted earth colors are preferred. Bold and bright colors should be limited for accents only.

Materials: Natural materials such as wood, brick or stone are preferred, although materials such as steel or aluminum may be used as accents.

Texture: Textural interest inherent in the material is desirable. Fabricated texture for texture's sake should be avoided.

Roofs: Roofs should be designed to maximize visual interest without being dominating; interesting, yet compatible.

Lighting: Tall luminaires should be avoided to lessen spillage into residential lots. Lower-height luminaires are preferred. Luminaires should be consistent with the design of the building. Soft lighting is preferred.

Signage: All buildings shall be limited to one sign only, excepting Area "D." The size should be limited and signs should be mounted flat against the building. One freestanding sign shall be permitted per lot, with a size of approximately 50 square feet and a height of 10'. All signs shall be unlighted or indirectly lighted. Signs should not all be designed to the maximum limits but proportioned to the size of the building. All signs should relate to the scale and character of the building.

A detailed and coordinated sign program shall be submitted for Area "B," the primary Hospital site. Signs shall be restrained in size, scale and design and be complementary to the architectural style of the Hospital development.

Mechanical Equipment: All rooftop and ground-mounted mechanical equipment shall be screened on all sides and shall be architecturally integrated with the building design.

Noise: Noise-producing vents, fans and mechanical equipment shall be oriented away from adjoining properties and residential uses and be appropriately screened.

Implementation and Administration

All major developments shall be subject to approval by the City Council for Sections A36.68.010 to A36.68.050 of the Zoning Ordinance. After approval of the development, minor building expansions or use changes conforming to the Medical Parking Plan may be approved by the Zoning Administrator following a public hearing. However, signs, minor site changes and minor building alterations which conform with the Medical Park Plan may be granted through the Development Review Committee.

APPENDIX:

Exhibit 5

Parking Recommendations

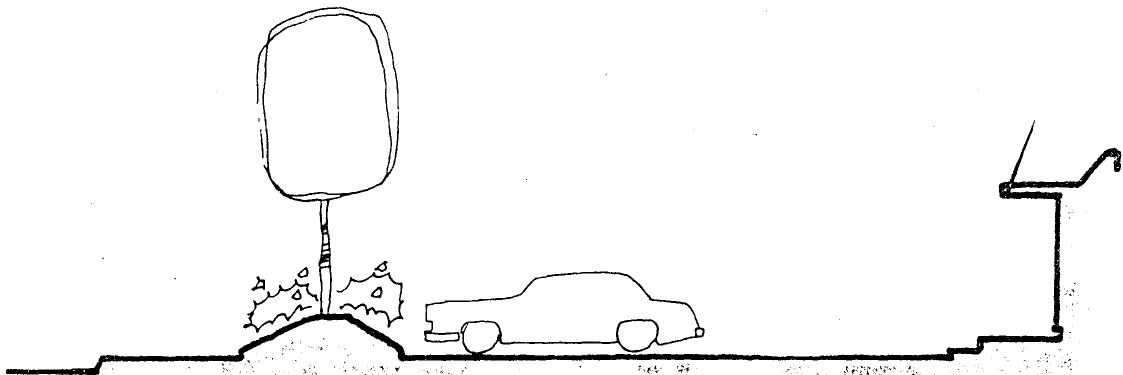
1. Landscaped mounds a minimum of 3' in height around the parking area.
2. Below-grade parking: either completely underground or a combination of surfaced and underground.

Exhibit 6

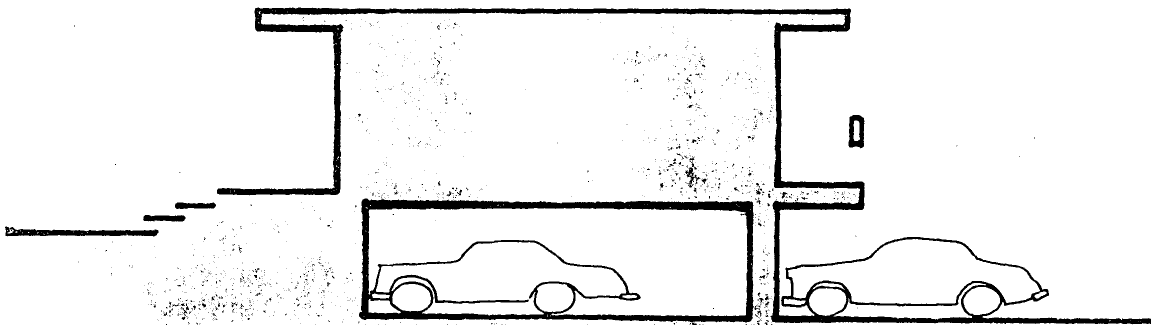
A typical cluster development, which shows the harmony of scale and character to the residential areas.

Exhibit 7

Typical cluster development making better use of open court spaces, adding interest, and relating to the residential scale.



LANDSCAPED MOUND



BELOW GRADE

RECOMMENDED PARKING

EXHIBIT #5

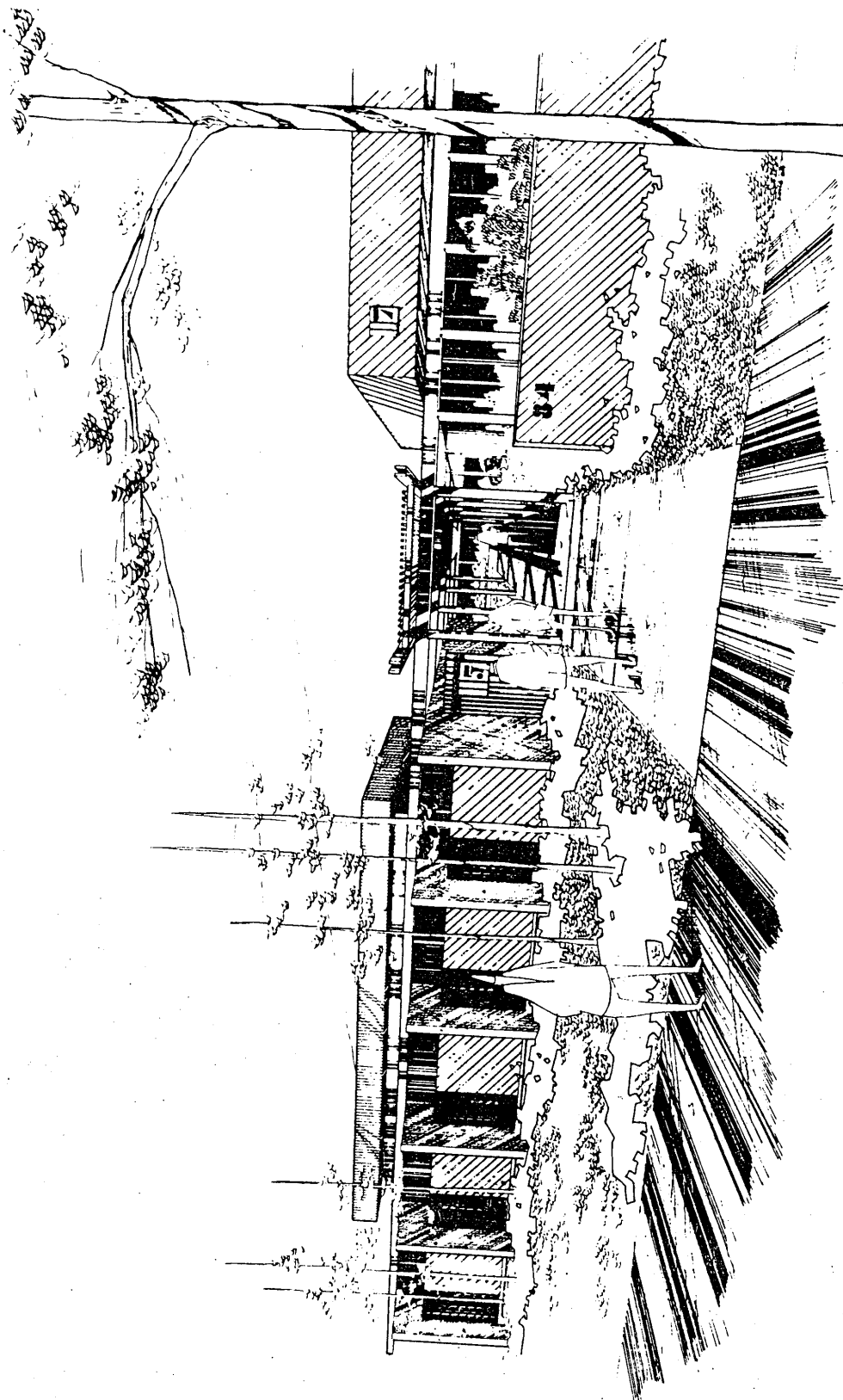


EXHIBIT # 6



EXHIBIT 7

**MITIGATION MEASURES FROM
MITIGATED NEGATIVE DECLARATION PREPARED FOR
AMENDMENTS TO THE EL CAMINO MEDICAL PARK PRECISE PLAN
APPROVED APRIL 12, 2005**

Following is a summary of the mitigation measures in the Mitigated Negative Declaration prepared for the Precise Plan amendments approved on April 12, 2005. The Precise Plan amendments revised area assignments, revised development standards for Area A and rescinded old Area G, a cluster residential development called Miramonte Place, from the Precise Plan. Mitigation measures that are routinely included as conditions of project approval are not listed.

1. **Aesthetics**

No mitigation measures.

2. **Agricultural Resources**

No mitigation measures.

3. **Air Quality**

- a. The following mitigation measures shall be implemented in all phases of construction on the site:
- (i) Water all active construction areas at least twice daily or as often as needed to control dust emissions.
 - (ii) Cover all trucks hauling soil, sand, gravel and other loose materials and/or ensure that all trucks hauling such materials maintain at least 2' of freeboard.
 - (iii) Sweep daily or as often as needed with water sweepers all paved access roads, parking areas and staging areas at construction sites to control dust.
 - (iv) Sweep public streets daily or as often as needed to keep streets free of visible soil material.
 - (v) Enclose, cover, water twice daily or apply nontoxic soil binders to exposed stockpiles (dirt, sand, etc.)
 - (vi) Replant vegetation in disturbed areas as quickly as possible.

4. **Biological Resources**

- a. These mitigation measures are included in the proposed project to reduce the impacts to raptors:
 - (i) In conformance with Federal and State regulations regarding protection of raptors, appropriate preconstruction surveys for raptors shall be completed by a qualified ornithologist prior to any development on the site where it is reasonably assumed that such species may be located. The preconstruction surveys will be used to verify the presence/absence of breeding raptors and the surveys must follow California Department of Fish and Game protocols.
 - (ii) Preconstruction surveys shall be conducted no more than 30 days prior to the start of site grading. If breeding raptors are located on or immediately adjacent to the site, a construction-free buffer zone (typically 250') around the active nest tree shall be established for the duration of breeding until young birds have fledged. If raptors are resident during the nonbreeding season (September to January), a qualified ornithologist in consultation with the California Department of Fish and Game would ensure that measures to avoid harm to the birds are taken prior to grading or tree removal.
- b. The following mitigation measure is included in the proposed project to reduce the impact of the loss of Heritage trees:
 - (i) Heritage trees removed from the project site shall be replaced based on a 3:1 ratio with 24" box specimens. The species of replacement tree species will be determined by the City of Mountain View.
- c. These mitigation measures are included in the proposed project to reduce the impacts to Heritage trees that will remain on-site:
 - (i) Any grading or construction activity on the property shall be done in such a manner as to not threaten the health or viability of any remaining Heritage tree. Construction fencing shall be installed at the drip line of all Heritage trees to remain on-site and protective grading methods around the Heritage trees to remain will be required.
 - (ii) Excavation around the Heritage trees to remain will not be permitted where material damage to the root system could result. If the proposed development encroaches into the drip line of any Heritage tree, special construction techniques to allow the roots to breathe and obtain water

may be required by the Community Development Director as a condition of approval.

- (iii) The existing ground surface within 4' of the base of any Heritage tree shall not be cut, filled, compacted or pared except for existing, permitted encroachments, such as sidewalks or as otherwise expressly approved by the Community Development Director pursuant to an approved arborist's report.

5. **Cultural Resources**

No mitigation measures.

6. **Geology and Soils**

- a. The following measures will be included in the project to reduce potential construction-related erosion impacts:
 - (i) All excavation and grading work will be scheduled in dry weather months or construction sites will be weatherized to withstand or avoid erosion.
 - (ii) Stockpiles and excavated soils will be covered with secured tarps or plastic sheeting.
 - (iii) Vegetation in disturbed areas will be replanted as quickly as possible.
 - (iv) Ditches will be installed, if necessary, to divert runoff around excavations and graded areas.

7. **Hazards and Hazardous Materials**

No mitigation measures.

8. **Hydrology and Water Quality**

- a. The following measures, based on RWQCB Best Management Practices, are included in the project to reduce potential construction-related water quality impacts:
 - (i) Burlap bags filled with drain rock will be installed around storm drains during construction to route sediment and other debris away from the drains.

- (ii) Earthmoving or other dust-producing activities would be suspended during periods of high winds.
- (iii) All exposed or disturbed soil surfaces would be watered at least twice daily to control dust as necessary.
- (iv) Stockpiles of soil or other materials that can be blown by the wind would be watered or covered.
- (v) All trucks hauling soil, sand and other loose materials would be covered and all trucks would be required to maintain at least 2' of freeboard.
- (vi) All paved access roads, parking areas, staging areas and residential streets adjacent to the construction sites would be swept daily (with water sweepers).
- (vii) Vegetation in disturbed areas would be replanted as quickly as possible.
- (viii) Obtain a Storm Water Permit administered by the Regional Water Quality Control Board. Prior to construction grading for the proposed land uses, the applicant will file a "Notice of Intent" (NOI) to comply with the General Permit and prepare a Storm Water Pollution Prevention Plan (SWPPP) which addresses measures that would be included in the project to minimize and control construction and postconstruction runoff. The following measures would be included in the SWPPP:
 - Preclude nonstorm water discharges to the storm water system.
 - Effective, site-specific Best Management Practices for erosion and sediment control during the construction and postconstruction periods.
 - Cover soil, equipment and supplies that could contribute nonvisible pollution prior to rainfall events or perform monitoring of runoff.
 - Perform monitoring of discharges to the storm water system.
- (ix) The project will submit a copy of the draft SWPPP to the City of Mountain View for review and approval prior to construction of the project site. The certified SWPPP will be posted at the project site and will be updated to reflect current site conditions.

- (x) When the construction phase is complete, a Notice of Termination (NOT) for the General Permit for Construction will be filed with the RWQCB and the City of Mountain View. The NOT will document that all elements of the SWPPP have been executed, construction materials and waste have been properly disposed and a postconstruction storm water management plan is in place as described in the SWPPP for the site.

9. **Land Use**

No mitigation measures.

10. **Minimal Resources**

No mitigation measures.

11. **Noise**

- a. The following measures have been included in the project to reduce construction-related noise impacts:
 - (i) Construction activities would be limited to the period between 7:00 a.m. and 6:00 p.m., Monday through Friday. No work will be permitted on Saturdays, Sundays or holidays without prior written authorization from the City's Building Official.
 - (ii) The contractor would be required to use "new technology" power construction equipment with state-of-the-art noise shielding and muffling devices. All internal combustion engines used on the project site would be equipped with adequate mufflers and would be in good mechanical condition to minimize noise created by faulty or poorly maintained engines or other components.
 - (iii) All machinery and engines shall be turned off when not in use.
 - (iv) All stationary noise-generating equipment shall be located as far as possible from the residential neighborhood on the east side of Grant Road.
 - (v) The developer would implement a Construction Management Plan approved by the City to minimize impacts on the surrounding sensitive land uses, particularly the residences, to the fullest extent possible. The Construction Management Plan would include, but not be limited to, the

following measures to minimize impacts of construction upon adjacent sensitive land uses:

- Notification, in writing, of the construction schedule to all neighbors within 300' of the construction area.
- A "disturbance coordinator" will be assigned to the project and be responsible for responding to any local complaints regarding construction noise.
- A telephone number for the "disturbance coordinator" will be sent out with the construction schedule and will also be conspicuously posted on the construction site perimeter fencing.

12. **Population and Housing**

No mitigation measures.

13. **Public Services**

No mitigation measures.

14. **Recreation**

No mitigation measures.

15. **Transportation and Circulation**

No mitigation measures.

16. **Utilities and Service Systems**

No mitigation measures.

PREPLAN-1

ElCaminoMedicalPark-PP^

CITY OF MOUNTAIN VIEW
RESOLUTION NO. 16985
SERIES 2005

A RESOLUTION AMENDING PROVISIONS RELATED TO LAND USE,
CIRCULATION SYSTEM, VISUAL FORM, GENERAL DEVELOPMENT STANDARDS
AND DEVELOPMENT STANDARDS FOR AREA A THROUGH AREA K AND
MEDICAL PARK ARCHITECTURAL STANDARDS OF THE
EL CAMINO MEDICAL PARK PRECISE PLAN

WHEREAS, Chapter A36, Article A-IV, Division A36.70 of the Mountain View City Code sets forth a procedure whereby the City may amend a precise plan; and

WHEREAS, said Division A36.70 of the Mountain View City Code requires that both the City's Environmental Planning Commission and City Council hold a duly noticed public hearing before any precise plan is amended; and

WHEREAS, on September 22, 2004, the Environmental Planning Commission held a duly noticed public hearing and thereafter forwarded its recommendation to the City Council that provisions related to Land Use, Circulation System, Visual Form, General Development Standards and Development Standards for Area A through Area K and Medical Park Architectural Standards of the El Camino Medical Park Precise Plan be amended; and

WHEREAS, on April 12, 2005, having given notice as required by Division A36.70, the City Council held a public hearing to consider amendments to the said El Camino Medical Park Precise Plan;

NOW, THEREFORE, BE IT RESOLVED that the El Camino Medical Park Precise Plan is hereby amended as more particularly described in Exhibit A, attached hereto and incorporated by reference herein.

The foregoing Resolution was regularly introduced and adopted at a Special Meeting of the City Council of the City of Mountain View, duly held on the 12th day of April, 2005, by the following vote:

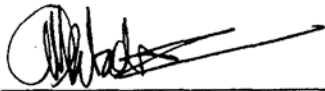
AYES: Councilmembers Galiotto, Kasperzak, Macias, Means, Pear, Perry and Mayor Neely

NOES: None

ABSENT: None

NOT VOTING: None

ATTEST:



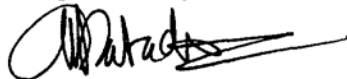
ANGELITA M. SALVADOR
CITY CLERK

APPROVED:



MATT NEELY
MAYOR

I do hereby certify that the foregoing resolution was passed and adopted by the City Council of the City of Mountain View at a Special Meeting held on the 12th day of April, 2005, by the foregoing vote.



City Clerk
City of Mountain View

AS/9/RESO
816-04-12-05R-1^

EL CAMINO MEDICAL PARK PLAN

Exhibit 1

